

- GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE ROADS ARE PAVED.
 3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
 4. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE PROPOSED EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 5. ALL ROOF DRAINS AND IMPERVIOUS SURFACES SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS OR IMPERVIOUS AREA SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION SYSTEM FIRST.
 6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III or CL. IV) OR ADS N-12 HP PIPE FOR THE STORM DRAINAGE SYSTEM UNLESS NOTED OTHERWISE. IF THE CONTRACTOR CHOOSES TO USE ADS N-12 HP STORM PIPE, IT SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF PP PIPE IS CHOSEN.
 8. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE IF A GEOTECHNICAL ENGINEERING REPORT WAS COMPLETED FOR THE SITE.
 9. CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF LAYDOWN AREA.

- ASPHALT AREA NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- BUILDING PAD NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH STRUCTURAL DRAWINGS.

- STORMWATER NOTE:**
1. THIS PROJECT DRAINS TO AN EXISTING DEPRESSION THAT'S BEING CONVERTED TO A DRY DETENTION BASIN.
 2. REFERENCE DRY DETENTION BASIN CONSTRUCTION NOTES ON DETAILS SHEET.

SPOT GRADE LEGEND:

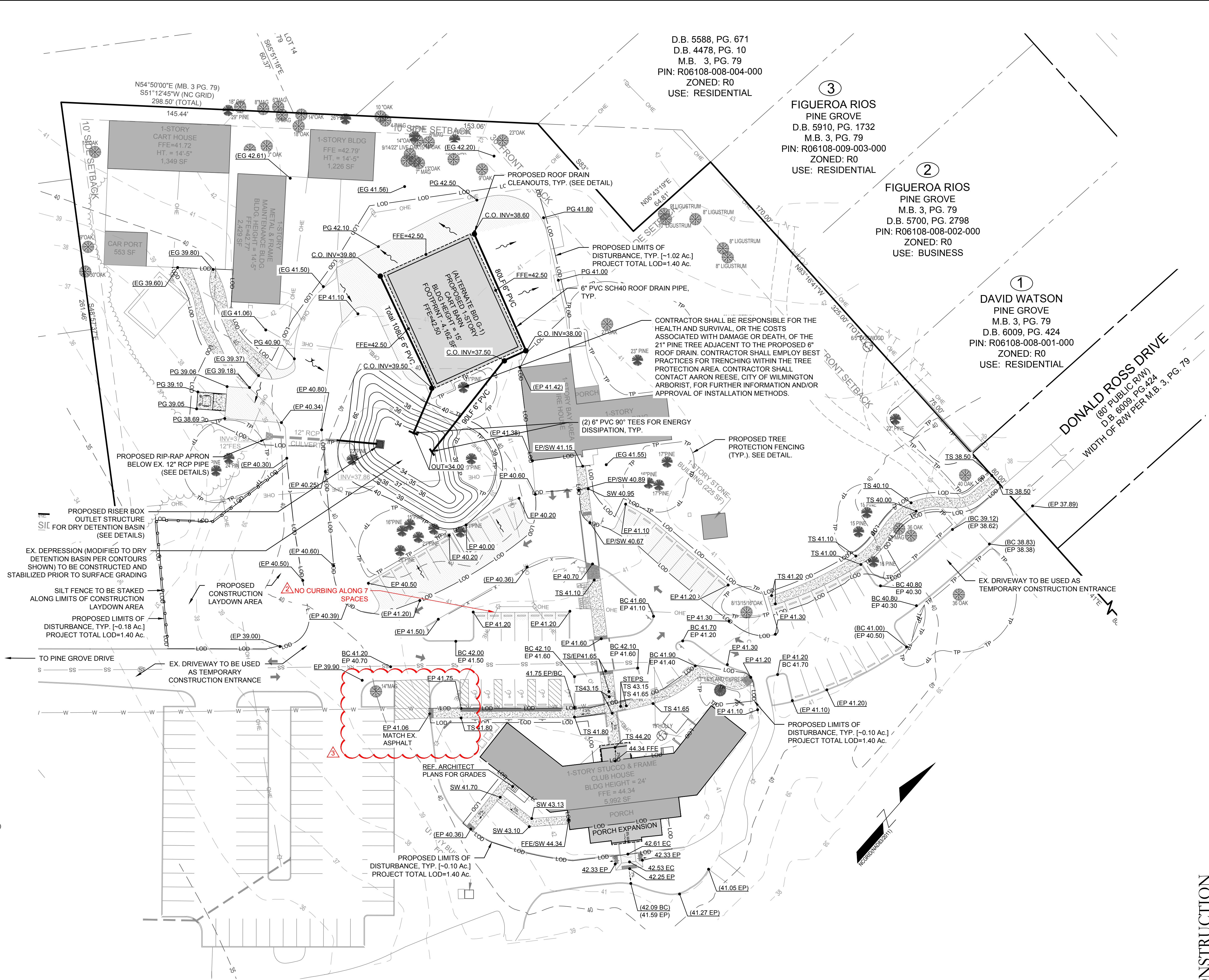
CB	=	CATCH BASIN
DCB	=	DOUBLE CATCH BASIN
DI	=	DROP INLET
DDI	=	DOUBLE DROP INLET
YI	=	YARD INLET
MH	=	STORM MANHOLE
TC	=	TOP OF CURB ELEVATION
GC	=	GUTTER CURB (FLOW LINE) ELEVATION
CC	=	CURB CUT (FLUME) ELEVATION
PG	=	PROPOSED GRADE (GROUND)
EP	=	EDGE OF PAVEMENT
EC	=	EDGE OF CONCRETE
TS	=	TOP OF SIDEWALK ELEVATION
CL	=	CENTERLINE
INV	=	INVERT
FFE	=	FINISH FLOOR ELEVATION
TWL	=	TOP OF WALL ELEVATION
BWL	=	BOTTOM OF WALL ELEVATION
(EG)	=	EXISTING GRADE
(XX)	=	EXISTING ELEVATIONS, TYP.

LEGEND:

	=	INLET PROTECTION
	=	STORM INLET (CURB & DROP)
	=	STORM MANHOLE
	=	SPOT GRADES
	=	DRAINAGE FLOW ARROWS

SYMBOLS LEGEND

	=	NEW ASPHALT
	=	NEW CONCRETE
	=	NEW BUILDINGS
	=	PAINT STRIPING



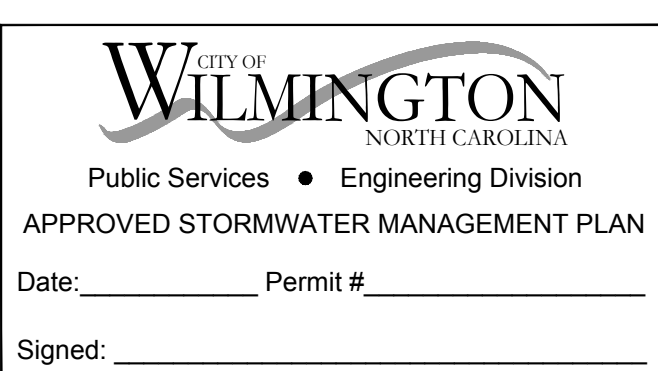
D.B. 5588, PG. 671
 D.B. 4478, PG. 10
 M.B. 3, PG. 79
 PIN: R06108-008-004-000
 ZONED: R0
 USE: RESIDENTIAL

③ FIGUEROA RIOS
 PINE GROVE
 D.B. 5910, PG. 1732
 M.B. 3, PG. 79
 PIN: R06108-009-003-000
 ZONED: R0
 USE: RESIDENTIAL

② FIGUEROA RIOS
 PINE GROVE
 M.B. 3, PG. 79
 D.B. 5700, PG. 2798
 PIN: R06108-008-002-000
 ZONED: R0
 USE: BUSINESS

① DAVID WATSON
 PINE GROVE
 M.B. 3, PG. 79
 D.B. 6009, PG. 424
 PIN: R06108-008-001-000
 ZONED: R0
 USE: RESIDENTIAL

DONALD ROSS DRIVE
 (80' PUBLIC R/W)
 D.B. 6009, PG. 424
 WIDTH OF R/W PER M.B. 3, PG. 79



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____

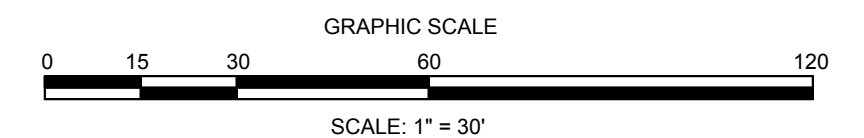
WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



ISSUED FOR CONSTRUCTION

REVISIONS:

1	APP'D: REMOVE PROPOSED SIDEWALK AND SCREEN FENCE	10/16/20
2	REV'D: FIELD CHANGE TO REMOVE CURB FOR DRAINAGE	2/20/21
3	REV'D: PARKING ISLAND UTILITY SERVICES	2/20/21

CLIENT INFORMATION:

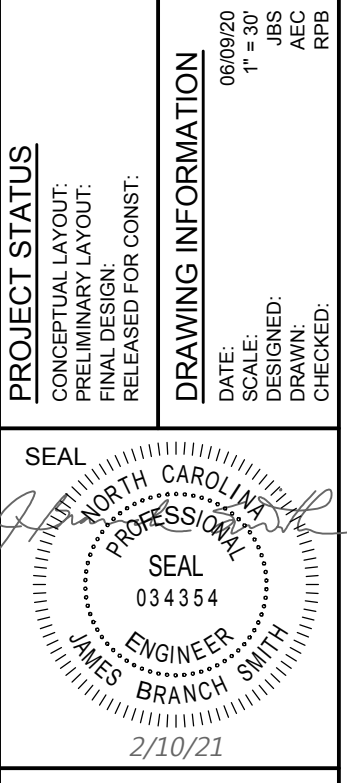
PARAMOUNTE ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

GRADING-DRAINAGE-EC PLAN

WILMINGTON MUNICIPAL GOLF COURSE
 311 DONALD ROSS DRIVE
 WILMINGTON, NC 28409

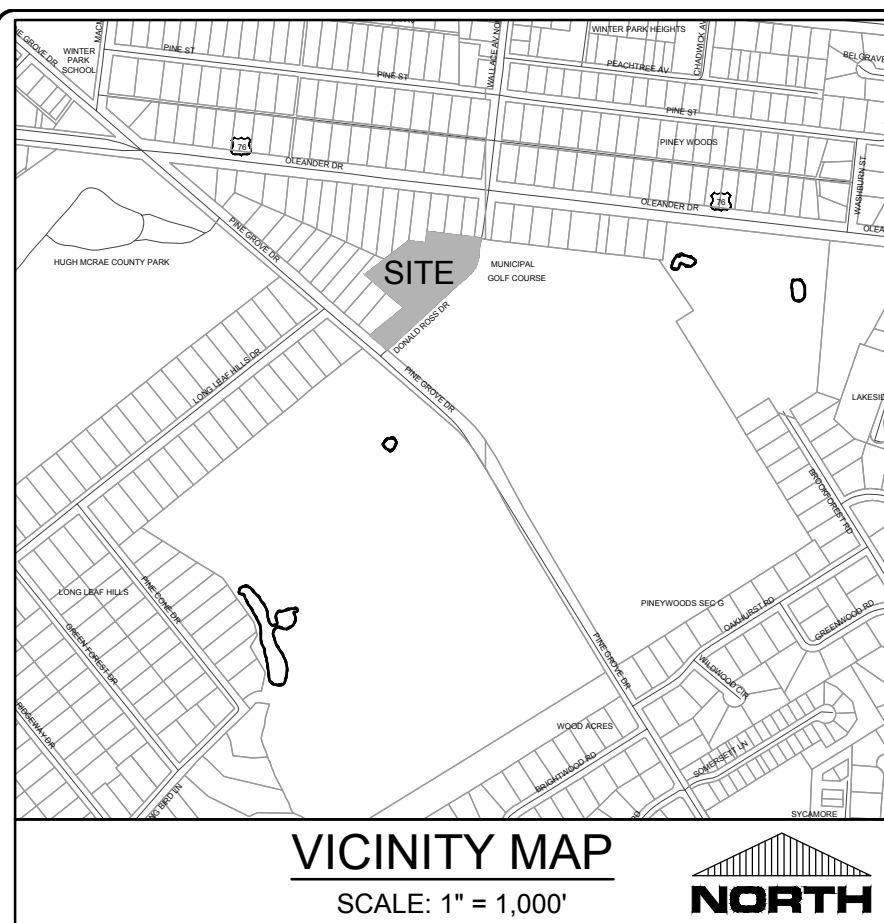
PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN: _____
 RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
 DATE: _____
 SCALE: 1" = 30'
 DRAWN BY: _____
 CHECKED: _____



C-3.0

PEI JOB#: 18152.PE



VICINITY MAP
SCALE: 1" = 1,000'

KEY NOTES:

- 1 STORMWATER AREA: DETENTION / INFILTRATION AREA
- 2 GRANITE CURB REPLACEMENT: NOTE CITY PARKS MAY UTILIZE CITY STOCKPILE OF GRANITE CURB OR SUBSTITUTE WITH STAND-UP CURB
- 3 STRIPED CROSSWALKS: FOLLOWING CITY OF WILMINGTON STANDARDS. REFER TO DETAILS.
- 4 WHEEL STOPS: REFER TO DETAILS
- 5 SINGLE DUMPSTER WITH ENCLOSURE: SHADOWBOX FENCE AND GATE DETAIL FOR DUMPSTER ENCLOSURE (REFER TO DETAILS) (RELOCATION IS PART OF ALTERNATE BID G-1)
- 6 HANDICAP PARKING SIGN: TYPICAL FOR EACH HC PARKING SPACE REFER TO DETAIL C-4.0
- 7 DIRECTIONAL ARROW STRIPING: PROVIDE DIRECTION ARROW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). REFER TO DETAIL C-5.0
- 8 SIGN LOCATION: DO NOT ENTER (R5-1) SIGN.
- 9 BICYCLE RACK: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW (10 SPACES MIN.)

- 10 CONCRETE SIDEWALK: SEE DETAILS
- 11 HANDICAP RAMP (SIDEWALK): SEE DETAILS
- 12 DETECTABLE WARNING MAT: SEE DETAILS
- 13 RAMP HANDRAILS: FOLLOWING ADA REQUIREMENTS. DESIGN BY OTHERS.
- 14 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 15 HANDICAP PARKING SYMBOL: SEE DETAILS
- 16 END CURB TREATMENT: SEE DETAILS
- 17 TREE PROTECTION FENCING: SEE DETAILS
- 18 PROPOSED OVERHEAD POWER RELOCATION: CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND FOLLOW ELECTRICAL PLANS
- 19 HANDICAP RAMP / LANDING AREA: SEE DETAILS

NOTE
CART BARN AND DUMPSTER RELOCATION ARE PART OF ALTERNATE BID G-1

SITE DATA TABULATION

APPLICANT: CITY OF WILMINGTON
305 CHESTNUT STREET, P.O. BOX 1810
WILMINGTON, NC 28402

PROPERTY OWNER: CITY OF WILMINGTON
305 CHESTNUT STREET, P.O. BOX 1810
WILMINGTON, NC 28402

PROJECT ADDRESS: WILMINGTON MUNICIPAL GOLF COURSE
311 DONALD ROSS DRIVE
WILMINGTON, NC 28409

TAX PARCEL IDENTIFICATION #: R06100-004-001-000
RECORDED DEED BOOK: BK 252, PG. 142
PROJECT AREA ("SUBJECT BOUNDARY"): 4.6 ACRES (200,940 SF)
TOTAL SITE AREA: 136.37 ACRES (5,940,277 SF)
CURRENT ZONING: R-15-RESIDENTIAL DISTRICT
CAMA LAND USE CLASSIFICATION: URBAN AND WATERSHED RESOURCE PROTECTION

MAXIMUM ALLOWABLE BUILDING HEIGHT: 35 FEET
EXISTING LAND USE: GOLF COURSE
PROPOSED LAND USE: GOLF COURSE
LAND USE CODE: 797-RECREATIONAL (PUBLIC/NON-PARK)
BUILDING LOT COVERAGE (MAX./PROPOSED): MAXIMUM = 50%
*PROPOSED = 8.9% (17,815 SF)

SETBACK STANDARDS

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	30 FT	30 FT
MINIMUM SIDE SETBACK	10 FT	10 FT
MINIMUM CORNER SETBACK	15 FT	15 FT
MINIMUM REAR SETBACK	25 FT	25 FT

FLOOD NOTE
THE SUBJECT AREA LIES IN AN AREA OF MINIMAL FLOOD HAZARD (FLOOD ZONE X) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018. A PORTION OF THE PARCEL (OUTSIDE OF THE SUBJECT AREA) LIES WITHIN FLOOD ZONE AE (EL. 12 FEET) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

BUILDING INFORMATION
EXIST. NO. OF BUILDINGS/SHEDS: 6 BUILDINGS
PROP. NO. OF BUILDINGS/SHEDS: 7 BUILDINGS

IMPERVIOUS INFORMATION

	236,300 SF
TOTAL EXISTING IMPERVIOUS	236,300 SF
WITHIN PROJECT AREA	72,346 SF
EX. IMPERVIOUS TO BE REMOVED	9,000 SF
EX. IMPERVIOUS TO REMAIN	63,346 SF

PROPOSED IMPERVIOUS

ASPHALT PARKING / DRIVEWAYS	9,230 SF
SIDEWALK / CONCRETE	4,365 SF
BUILDINGS	4,852 SF
TOTAL PROPOSED IMPERVIOUS	18,447 SF

NET IMPERVIOUS = TOTAL PROPOSED IMPERVIOUS - EXISTING IMPERVIOUS TO BE REMOVED
NET IMPERVIOUS = 18,447 SF - 9,000 SF = 9,447 SF

PARKING
HANDICAP REQUIRED: 5 SPACES (WITH 1 HANDICAP VAN SPACE)
HANDICAP PROVIDED: 6 SPACES (WITH 1 HANDICAP VAN SPACE)
BICYCLE PARKING REQ'D: 10 SPACES
*5 SPACES/25 VEHICLE PARKING SPACES (VPS) + 5 SPACES FOR EACH ADDITIONAL 100 VPS
BICYCLE PARKING PROVIDED: 10 SPACES

PARKING CALCULATIONS

USE	STANDARD		INPUT	MIN. REQUIRED SPACES	MAX. ALLOWED SPACES
	MIN.	MAX.			
GOLF COURSE	50 PER 18 HOLES	150% OF MIN.	50 HOLES	50	75
ASSEMBLY HALL	1 PER 400 GSF OR 1 PER 4 SEATS (WHICHEVER IS GREATER)	1 PER 250 GSF OR 1 PER 3 SEATS (WHICHEVER IS GREATER)	3,211 GSF OF ASSEMBLY HALL OR 187 OCCUPANCY	47	62
WAREHOUSING GENERAL	1 PER 1,000 GSF	150% OF MIN.	11,439 GSF OF WAREHOUSING	11	17
TOTAL PARKING SPACES ALLOWANCES =				108	154
EXISTING PARKING SPACES =				110	
PARKING SPACES REMOVED =				12	
PROPOSED NEW PARKING SPACES =				20	
TOTAL PROVIDED PARKING SPACES =				118 (INCL. 6 HANDICAP)	
ADEQUATE PARKING PROVIDED?				118 > 108 = YES	118 < 154 = YES

3 UPDATED PARKING TABLE (REMOVED 2 SPACES)

CHEMICAL, FUEL, & FERTILIZER STORAGE
STORAGE AND HANDLING OF MATERIALS SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND SHALL NOT DRAIN OR DISCHARGE TO THE NATURAL DRAINAGE PATTERN BUT HAVE SECONDARY STORAGE DEVICES IN ACCORDANCE WITH OSHA.

FIRE & LIFE SAFETY NOTES

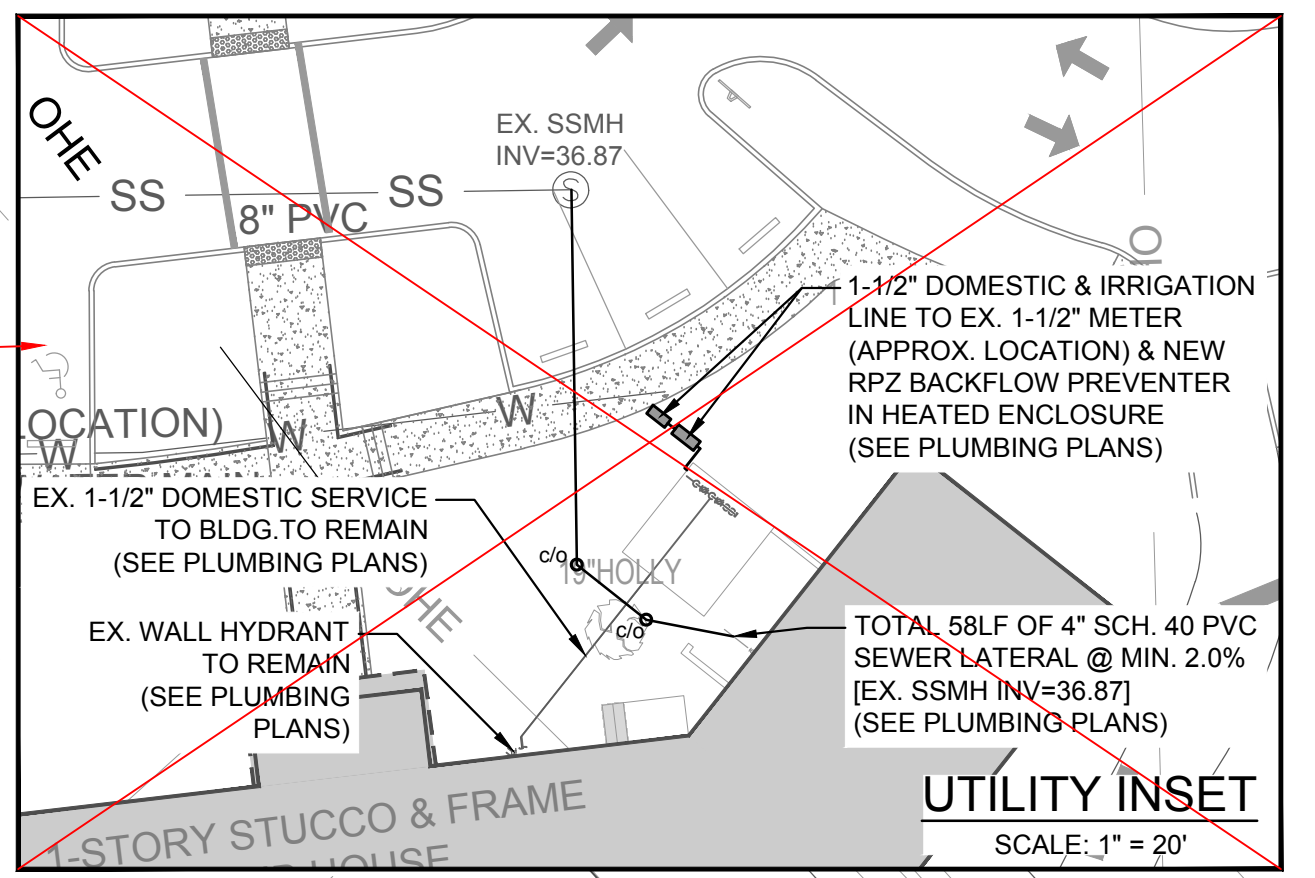
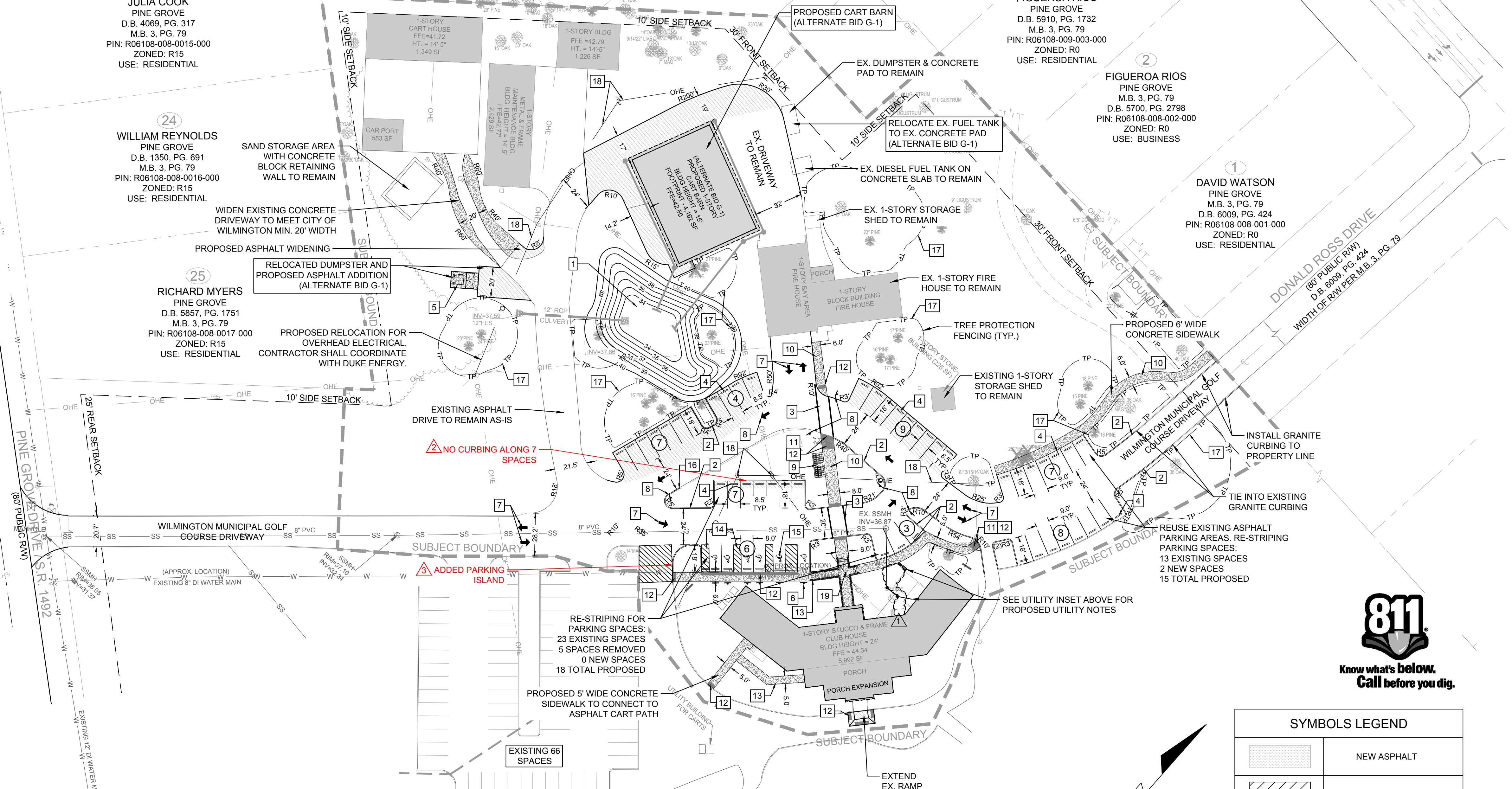
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- ICC BUILDING TYPES:
 - EXISTING CLUBHOUSE: TYPE V UNPROTECTED
 - PROPOSED CLUBHOUSE PORCH ADDITIONS: TYPE V UNPROTECTED
 - PROPOSED CART BARN: TYPE IIB NON-COMBUSTIBLE
 - PROPOSED MAINTENANCE BUILDING ADDITION: TYPE IIB NON-COMBUSTIBLE

TRAFFIC NOTES

- IF EXISTING PAVEMENT MARKINGS WITHIN THE PROJECT AREA HAVE WEATHERED TO THE POINT WHERE THEY ARE NO LONGER IN ACCORDANCE WITH MUTCD STANDARDS OF MAINTENANCE, IT IS THE DEVELOPER'S RESPONSIBILITY TO RETURN MARKINGS TO ACCEPTABLE STANDARDS AND MAINTAIN ALL PAVEMENT MARKINGS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

WATER & SEWER INFORMATION
NO NEW FIRE, WATER, OR SEWER SERVICES ARE PROPOSED FOR ANY OF THE BUILDINGS.
WATER: 0 GPD (PROPOSED USE)
SEWER: 0 GPD (PROPOSED USE)

UTILITIES
APPROXIMATE LOCATIONS OF EXISTING 8" AND 12" WATER MAINS SHOWN ON PLANS (INFORMATION PROVIDED BY CFPWA GIS SERVICES). CONTRACTOR SHALL VERIFY LOCATION IN FIELD.
CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR ANY REQUIRED ELECTRICAL RELOCATIONS OR REMOVALS. SEE ELECTRICAL SITE PLANS FOR PROPOSED ELECTRICAL SCOPE OF WORK. FOR RELOCATED OVERHEAD ELECTRICAL LINES, A MIN. CLEARANCE OF 15' FROM BUILDINGS IS REQUIRED.



REVISIONS:

NO.	DATE	DESCRIPTION
1	10/18/20	1. APPROX. REMOVE PROPOSED SIDEWALK AND SCREEN FENCE
2	10/21/20	2. REV. 10' - FIELD CHANGE TO REMOVE CURB FOR DRAINAGE
3	10/21/20	3. REV. 10' - PARKING ISLAND UTILITY SERVICES

CLIENT INFORMATION:
SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE
124 MARKET ST, WILMINGTON, NC 28403

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

SITE & UTILITY PLAN
WILMINGTON MUNICIPAL GOLF COURSE
311 DONALD ROSS DRIVE
WILMINGTON, NC 28409

PROJECT STATUS:
CONCEPTUAL LAYOUT: []
FINAL DESIGN LAYOUT: []
RELEASED FOR CONSTRUCTION: []

DRAWING INFORMATION:
DATE: 10/21/20
SCALE: AS NOTED
DRAWING: []
CHECKED: []

SEAL:
JAMES BRANCH SMITH
ENGINEER
034354
2/10/21

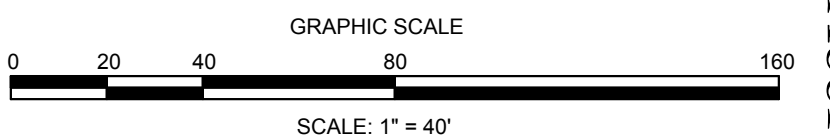
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PEI JOB#: 18152.PE

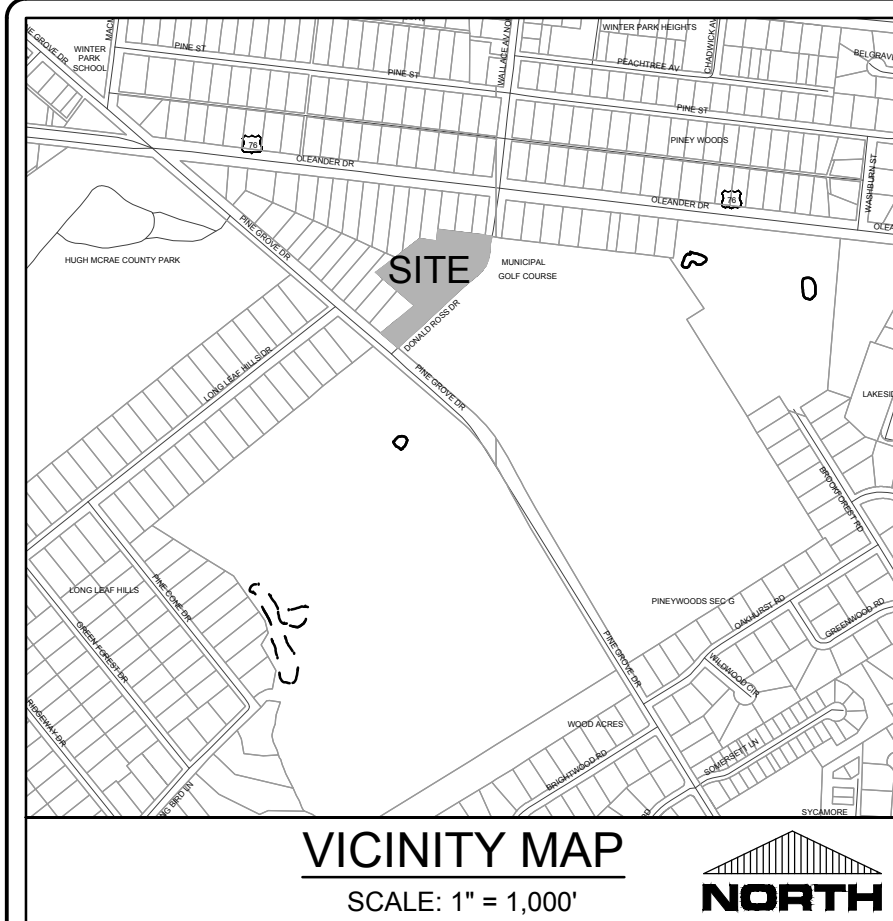
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit #: _____
Signed: _____

Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ISSUED FOR CONSTRUCTION



VICINITY MAP
SCALE: 1" = 1,000'

SITE DATA TABULATION

APPLICANT: CITY OF WILMINGTON
102 NORTH THIRD STREET, P.O. BOX 1810
WILMINGTON, NC 28402

PROPERTY OWNER: CITY OF WILMINGTON
102 NORTH THIRD STREET, P.O. BOX 1810
WILMINGTON, NC 28402

PROJECT ADDRESS: WILMINGTON MUNICIPAL GOLF COURSE
311 DONALD ROSS DRIVE
WILMINGTON, NC 28409

TAX PARCEL IDENTIFICATION #: R06100-004-001-000
RECORDED DEED BOOK: BK 252, PG 142
TOTAL PROJECT AREA (SUBJECT AREA): 4.6 ACRES (200,940 SF)
CURRENT ZONING: R-15-RESIDENTIAL DISTRICT
CAMA LAND USE CLASSIFICATION: URBAN AND WATERSHED RESOURCE PROTECTION

MAXIMUM ALLOWABLE BUILDING HEIGHT: 35 FEET
EXISTING LAND USE: GOLF COURSE
PROPOSED LAND USE: GOLF COURSE
LAND USE CODE: 797-RECREATIONAL (PUBLIC/NON-PARK)

LANDSCAPE CALCULATIONS:

STREET YARD LANDSCAPING - Sec. 18-477

Item	REQ'D	PROV
Donald Ross Dr 83 LF - 24' Drive = 59 LF * 12 = 708 SF	708 SF	708 SF
708 SF / 600 SF = 1.18		
Sidewalk in Streetyard	15% max (106.2 sf)	10.1% (72 sf)
1 CANOPY / 600 SF	2	1 (+1 Existing)
6 SHRUBS / 600 SF	12	

PARKING LOT LANDSCAPING

Interior Area Landscaping - Sec. 18-481
55,035 SF * 20% SHADING
15 TREES @ 707 SF EACH = 10,605 SF
EXISTING CANOPY SHADE = 5,203 SF

Parking Area Screening - Sec. 18-483
Perimeter Buffer to Count as Required Screening

Foundation Planting - Sec. 18-490
60L x 15H = 900 sf * 12% = 72 sf

BUFFER YARDS - Sec. 18-503
Buffer shrub planting shown on plan to be installed where existing vegetation does not provide 100% opacity from the ground to 6' height. Existing trees with 100% canopy coverage of buffer to satisfy buffer tree requirement.

OVERALL SITE TREE PLANTING REQUIREMENTS
4.75 AC * (15) 2.5" TREES / AC = 71.25
REQUIRED MITIGATION TREES

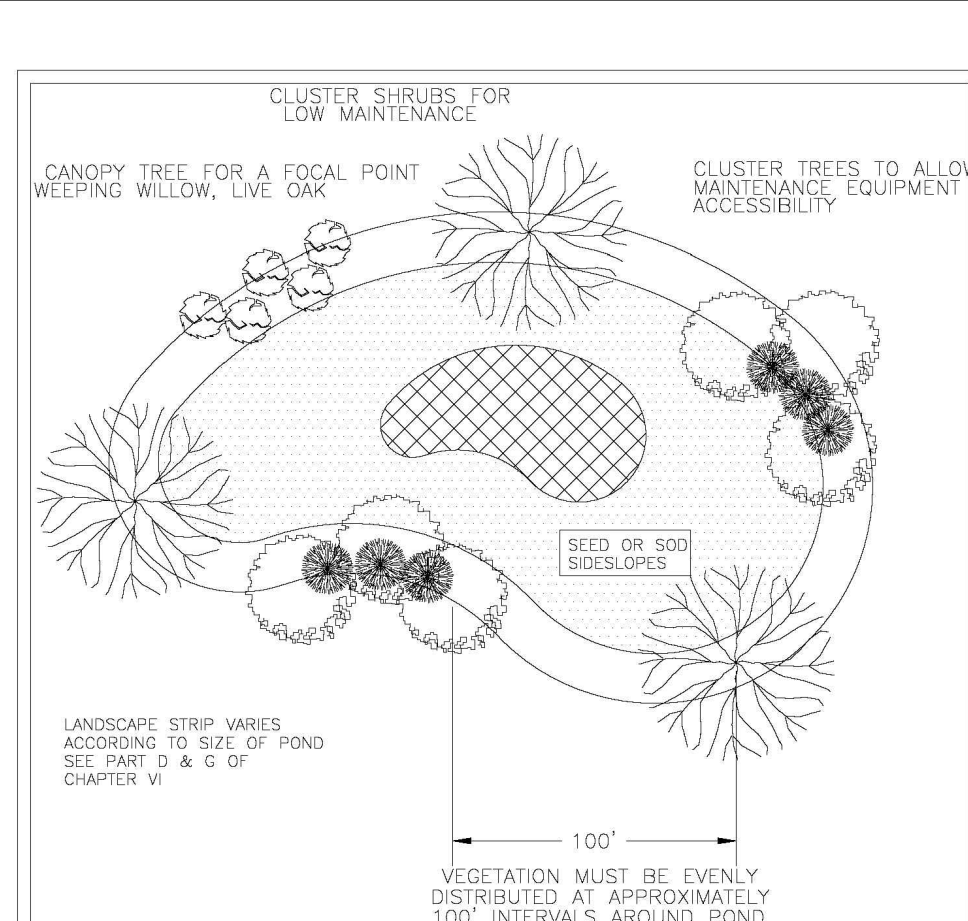
Item	REQ'D	PROV
72	72	
17	17	
89 TOTAL		
TREE PLANTING (BUFFER, STREET YARD, PARKING LOT)	12	
RETAINED TREE CREDIT	137	
149 TOTAL		

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	RBO	2	Cercis canadensis 'Oklahoma' Oklahoma Redbud	8' - 10' H
	LO2	10	Quercus virginiana Southern Live Oak	2.5" cal
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	AZF3	143	Azalea l. 'Formosa' Formosa Azalea	3' HT min.
	DYH	186	Ilex vomitoria 'Nana' Dwarf Yaupon	3 gal - 12" x 12"
	MC	98	Myrica cerifera Wax Myrtle	3' HT min.

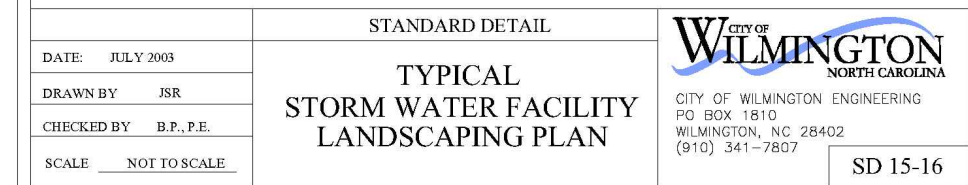
PLANTING NOTES:

- ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
- SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH BERMUDA 'BLACKJACK'



LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS AND LANDSCAPE ISLANDS ADJACENT TO DRIVE AISLES, SIDEWALKS, AND CROSSWALKS, SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.



Notes:

- If possible, locate pond where vegetation exists.
- Suggest minimal clearing to conserve visual quality of site and minimize the cost of tree planting. An irregular shape provides a more natural appearance.
- Landscape strips shall be a maximum slope of 7:1 in order to plant vegetation.
- Provide a minimum of 3 inches of mulch around all vegetation.

Municipal Golf Course Expansion Tree Preservation Credit

Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit
1	19	HOLLY	19	
1	45	LIVE OAK (MULTI TRUNK 9,14,22)	45	
1	5	MAGNOLIA	5	
1	7	MAGNOLIA	7	
1	14	MAGNOLIA	14	
2	9	OAK	18	
1	13	OAK	13	
1	15	OAK	15	
1	16	OAK	16	
2	20	OAK	40	
1	27	OAK	27	
1	30	OAK	30	
2	36	OAK	72	
1	31	OAK (MULTI TRUNK 13,18)	31	
1	52	OAK (MULTI TRUNK 8,13,15,16)	52	
2	15	PINE	30	
3	16	PINE	48	
2	17	PINE	34	
2	18	PINE	36	
1	20	PINE	20	
3	21	PINE	63	
4	22	PINE	88	
2	23	PINE	46	
1	24	PINE	24	
1	26	PINE	26	
TOTAL CALIPER INCHES RETAINED ON SITE			819	
TOTAL TREE CREDITS				137

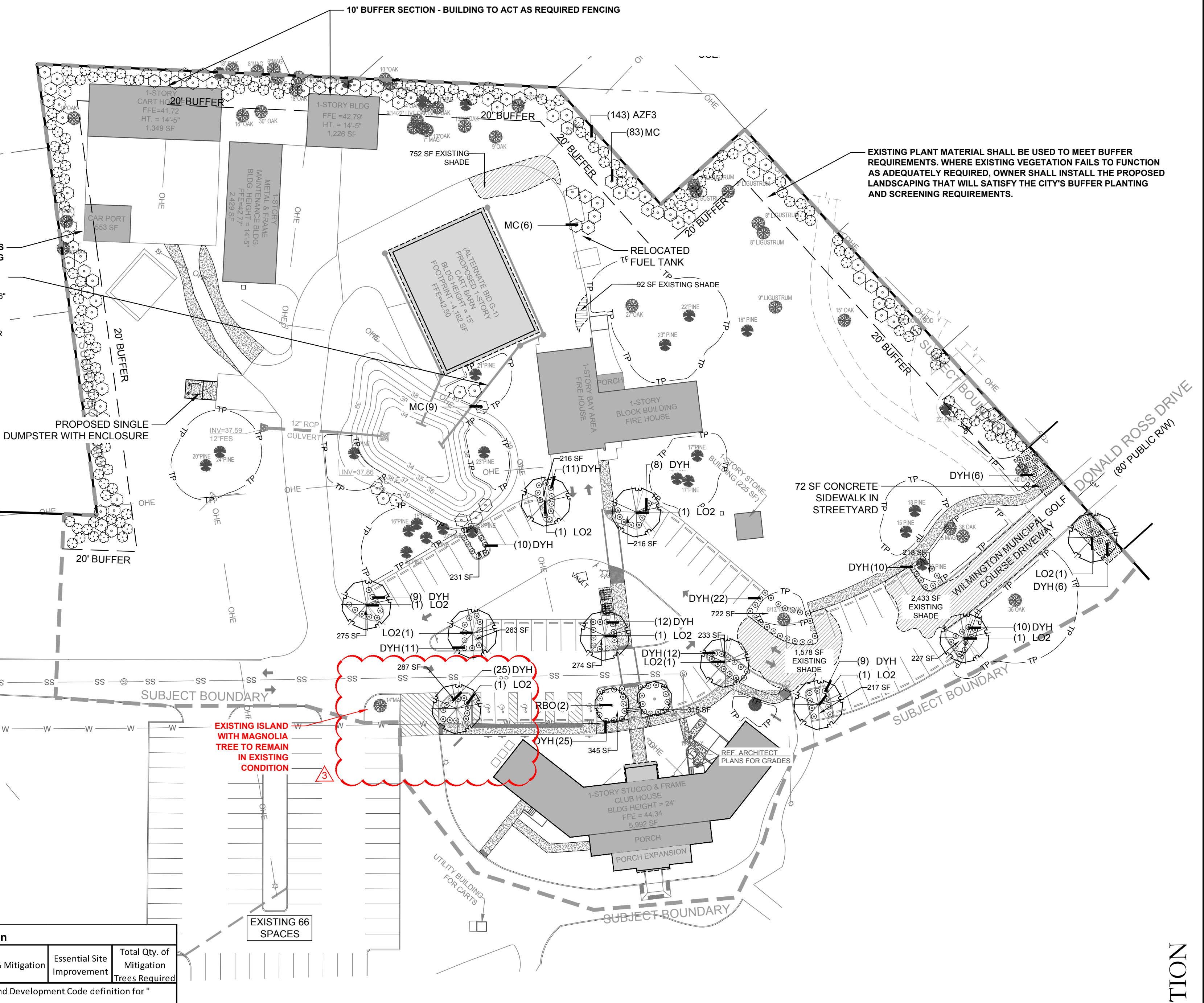
Municipal Golf Course Expansion Tree Removal & Required Mitigation

Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Essential Site Improvement	Total Qty. of Mitigation Trees Required
SIGNIFICANT TREES								
Category 1 (100% Mitigation)								
1	25		OAK (LAUREL OAK)	hardwood	25	100%	Yes	17
					Total Category 1 Significant Trees Mitigation Required:			17
					Total Category 1 Significant Trees To Be Removed with Essential Site Improvements:			1
REGULATED TREES								
Category 1 (100% Mitigation)								
1	8		OAK (LIVE OAK)	hardwood	8	100%	Yes	0
1	9		OAK (LIVE OAK)	hardwood	9	100%	Yes	0
2	9		PINE (LONG LEAF)	conifer	18	100%	Yes	0
2	20		PINE (LONG LEAF)	conifer	40	100%	Yes	0
1	23		PINE (LONG LEAF)	conifer	18	100%	Yes	0
					Total Category 1 Regulated Trees Mitigation Required:			0
					Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:			7

Total Qty. of Significant Tree Mitigation Required:		17
Total Tree Credits:		137
Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):		-120

LANDSCAPE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE 21" PINE TREE ADJACENT TO THE PROPOSED 6" ROOF DRAIN. CONTRACTOR SHALL EMPLOY BEST PRACTICES FOR TRENCHING WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL CONTACT AARON REESE, CITY OF WILMINGTON ARBORIST, FOR FURTHER INFORMATION AND/OR APPROVAL OF INSTALLATION METHODS.



WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

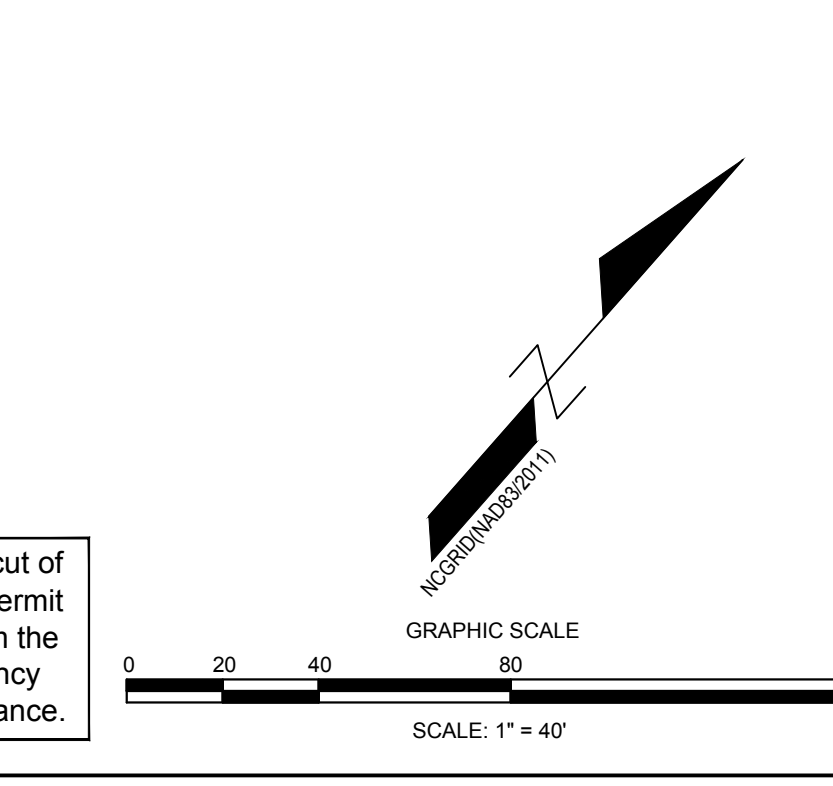
Approved Construction Plan
Name _____ Date _____

Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND:

[Symbol]	SPILL GUTTER
[Symbol]	PROPOSED HEAVY DUTY ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED CHAIN LINK FENCE
[Symbol]	PROPOSED TREE LINE
[Symbol]	PROPOSED LIGHT POLE
[Symbol]	PROPOSED STREETYARD BUFFER
[Symbol]	PROPOSED TREE PROTECTION FENCE
[Symbol]	EXISTING TREE TO REMAIN



REVISIONS:
3 (REV 03 - FIELD CHANGE TO REMOVE ESCAPE ISLANDS) 2/9/21

CLIENT INFORMATION:
SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE
124 MARKET ST, WILMINGTON, NC 28403

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

LANDSCAPE PLAN
WILMINGTON MUNICIPAL GOLF COURSE
311 DONALD ROSS DRIVE
WILMINGTON, NC 28409

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 2/10/21
DRAWN BY: JRC
CHECKED BY: JRC
DESIGNED BY: JRC

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER
JAMES BRANCO SMITH
034354
2/10/21

L-1.0

PEI JOB#: 18152.PE

ISSUED FOR CONSTRUCTION